

Single-Family Housing
Three Bedroom / Two Bath
for
YAVAPAI COUNTY
1015 Fair Street
Prescott, Arizona



PROJECT INFORMATION

ALL WORK SHALL CONFORM TO ALL YAVAPAI COUNTY ADOPTED CODES, ORDINANCES AND POLICIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2017 NATIONAL ELECTRIC CODE (NEC)
2006 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

LIVABLE: 1,300 SQ. FT.
COVERED ENTRY: 65 SQ. FT.
CARPORT: 400 SQ. FT.
STORAGE: 62 SQ. FT.

TOTAL UNDER ROOF: 1,827 SQ. FT.
OCCUPANCY: R-3 (Single-Family Residential)
CONSTRUCTION TYPE: V-B

A-1.0	PROJECT INFO / FLOOR PLAN / OPENING SCHEDULES
A-1.1	GARAGE ALTERNATE SHEET
A-2.0	FOUNDATION PLAN / DETAILS
A-3.0	ROOF FRAMING PLAN / DETAILS
A-4.0	EXTERIOR ELEVATIONS / BLDG. SECTION
ME-1	HVAC / ELECTRICAL PLANS

GENERAL NOTES

1. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.
2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF YAVAPAI COUNTY DEVELOPMENT SERVICES.
3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE SAME.
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.
7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY YAVAPAI COUNTY DEVELOPMENT SERVICES OF ANY DISCREPANCIES. YAVAPAI COUNTY, NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.
8. FAILURE BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS, TO AQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR WORK PROPERLY.
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY YAVAPAI COUNTY PERSONNEL.
10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW, OR DOOR, FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.
11. ALL INTERIOR WALL, AND CEILING FINISHES, SHALL BE TAPED, TEXTURED, AND PAINTED 1/2" DRYWALL. PROVIDE "GREENBOARD" BEHIND ALL TUB ENCLOSURES.

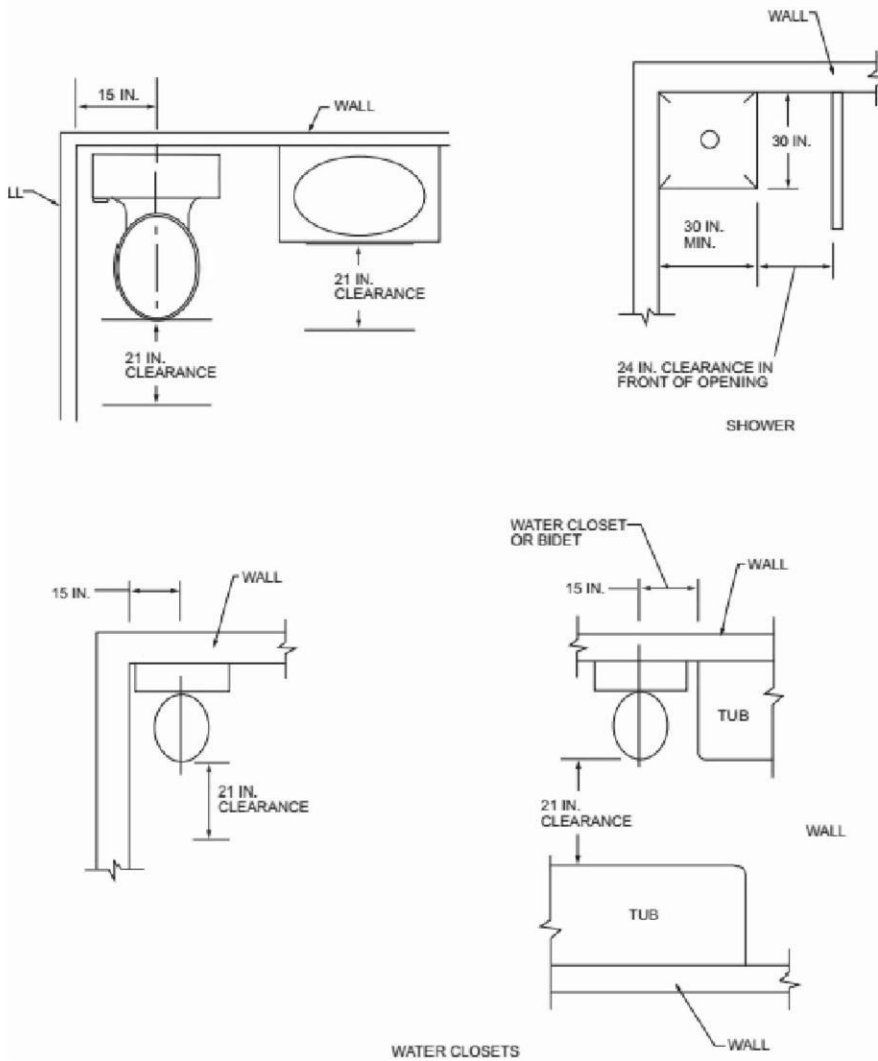
EFFECTIVE APRIL 20, 2006
FULLY SHIELDED FIXTURES ARE
REQUIRED FOR ALL EXTERIOR LAMPS

RAIN GUTTERS / DRAINAGE
Rainwater from roofs and storm water from paved areas, yards, courts and courtyards shall drain to an approved place of disposal. (1101.2 2018 IPC) Drainage away from structure shall be determined by Geotechnical Report.

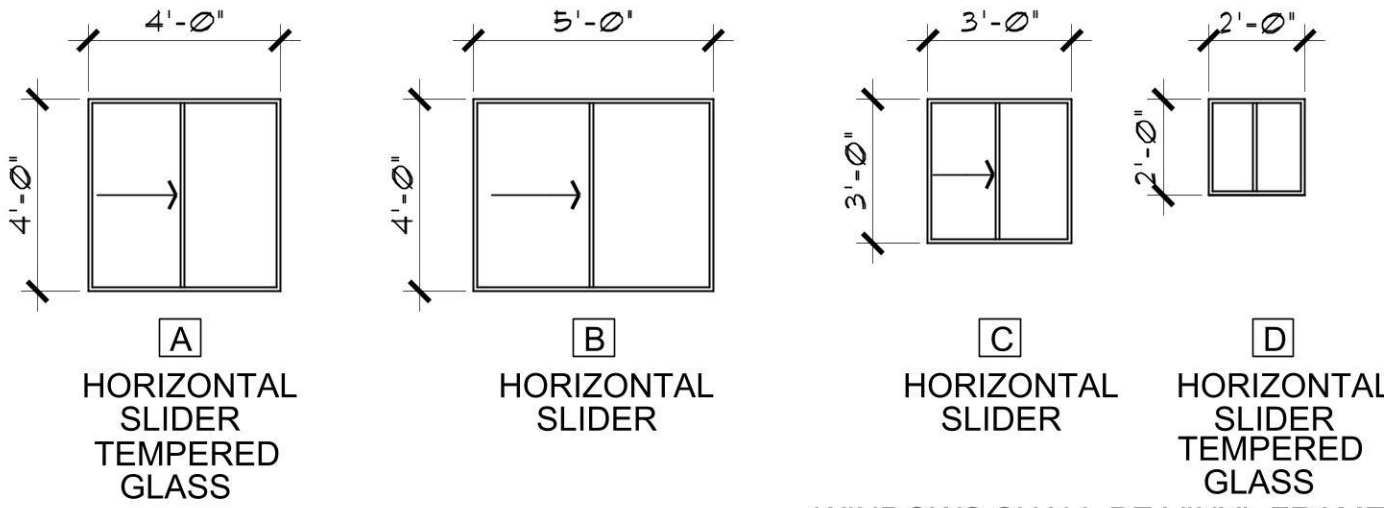
SPECIAL INSPECTION
REQUIRED
Reports to be supplied to
Building Inspector

CAUTION
Yavapai County permitted building plans do not relieve the Owners or General Contractor from their responsibilities to conform to all adopted building codes. Every effort has been made to provide a thorough plan review, however plans may contain irregularities. If plans do not contain the proper information or details the Owner/General Contractor shall not proceed with the project until the issue has been resolved through Yavapai County and any professional involved in the project.

Yavapai County Ordinance, Section 112.6
Drainage across Property Lines.
Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of non-erosive down-drains or other devices.



PLUMBING FIXTURE CLEARANCES
NO SCALE PER IRC FIGURE R307.1

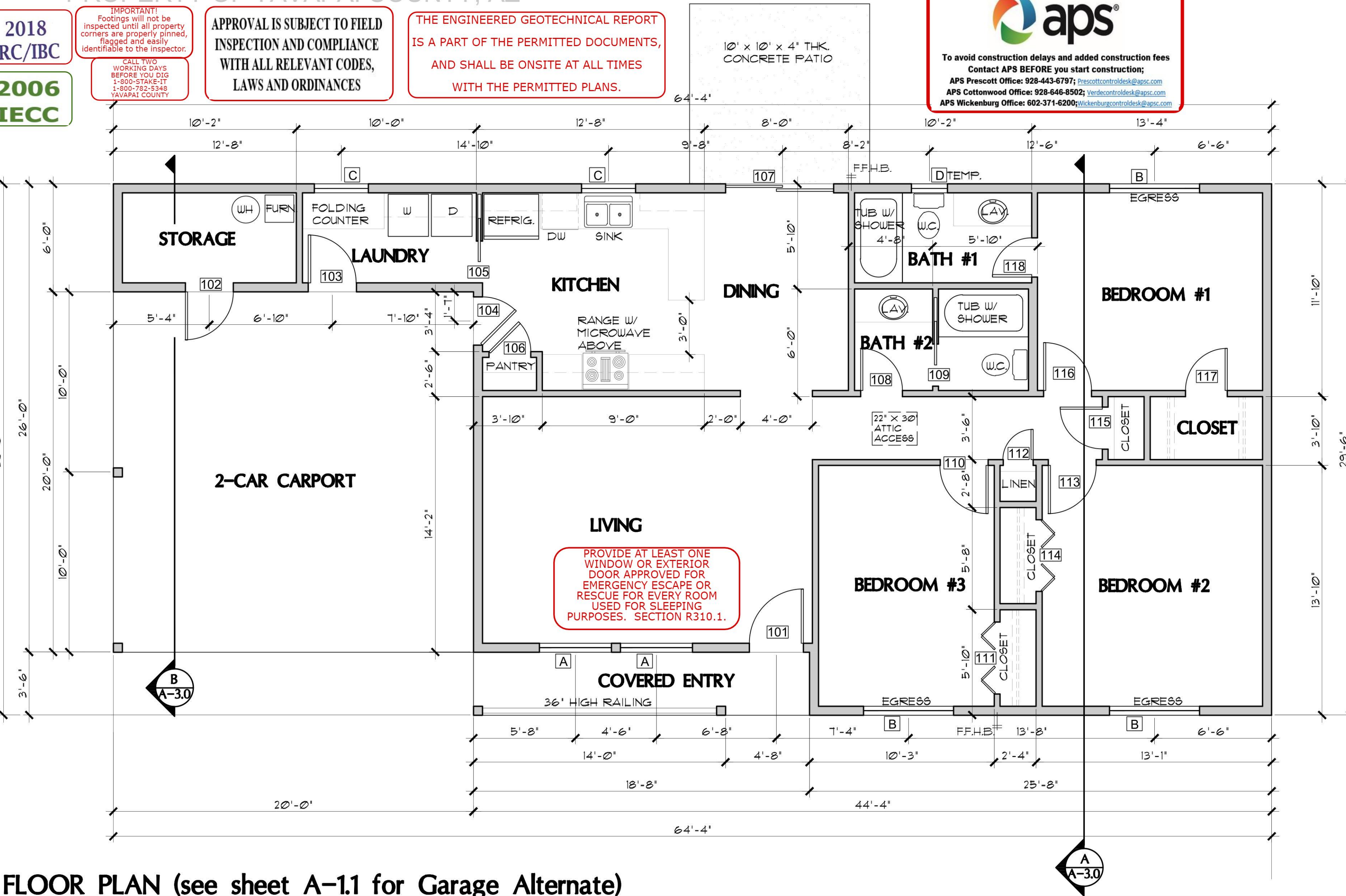


WINDOW TYPES

SCALE: 1/4" = 1'-0"

WINDOWS SHALL BE VINYL FRAME
MAX. U-FACTOR: 0.40
(OPTION TO ELIMINATE FOUNDATION INSULATION IF USING 0.32 OR BELOW U-FACTOR)

REVIEWED FOR
DESIGN CRITERIA
ONLY



FLOOR PLAN (see sheet A-1.1 for Garage Alternate)

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DR. #	SIZE W.	H.	T.	DOOR TYPE	REMARKS
101	3'-0"	6'-8"	1-3/4"	EXTERIOR 6-PANEL SOLID-CORE WOOD	
102	2'-8"	6'-8"	1-3/4"	EXTERIOR FLUSH SOLID-CORE WOOD	
103	2'-8"	6'-8"	1-3/4"	EXTERIOR FLUSH SOLID-CORE WOOD	
104		6'-8"	1-3/4"	2-PANEL SOLID-CORE WOOD W/ TEMPERED GLASS VISION PANEL	SELF-CLOSING & SELF-LATCHING PROVIDE THRESHOLD AND WEATHERSTRIPPING
105	2'-4"	6'-8"	1-3/8"	INTERIOR 4-PANEL SLIDING POCKET DOOR	
106	3'-0"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
107	6'-0"	6'-8"	-	EXTERIOR SLIDING-GLASS PATIO DOOR	
108	5'-0"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
109	5'-0"	6'-8"	1-3/8"	INTERIOR 4-PANEL SLIDING POCKET DOOR	
110	2'-8"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
111	4'-0"	6'-8"	1-1/8"	INTERIOR 4-PANEL BI-FOLD	
112	1'-8"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
113	2'-8"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
114	4'-0"	6'-8"	1-1/8"	INTERIOR 4-PANEL BI-FOLD	
115	2'-4"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
116	2'-8"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
117	2'-4"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	
118	2'-4"	6'-8"	1-1/2"	INTERIOR 4-PANEL HOLLOW CORE	

NOTE: FENESTRATION IN ZONE 2 (ELEVATIONS BELOW 3500 FT.) SHALL HAVE A MAXIMUM U-FACTOR OF 0.75, AND A MAXIMUM FENESTRATION SHGC FACTOR OF 0.40. FENESTRATION IN ZONE 4 (ELEVATIONS 3500 FT. AND ABOVE) SHALL HAVE A MAXIMU U-FACTOR OF 0.40. THE SHGC FACTOR IN ZONE 4 IS NOT APPLICABLE.

PROJECT INFO / FLOOR PLAN /
OPENING SCHEDULES
3 BEDROOM / 2 BATH

YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

Mark Rogers, Architect, PLLC

761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
architect914@cableone.net



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Job no. : 3BDRM / 2BATH
Date : 12/09/2020
Drawn by : MFR
Chk'd by : MFR
Scale : AS NOTED
Revisions:

SHEET NO:
A-1.0



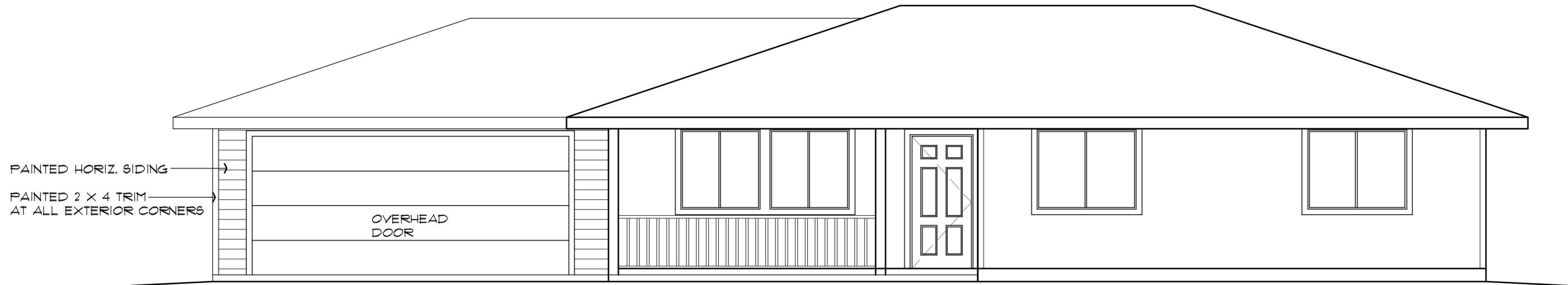
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ALTERNATE GARAGE
3 BEDROOM / 2 BATH
YAVAPAI COUNTY, ARIZONA

1015 FAIR STREET
PRESCOTT, ARIZONA

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DESIGN CRITERIA
ONLY



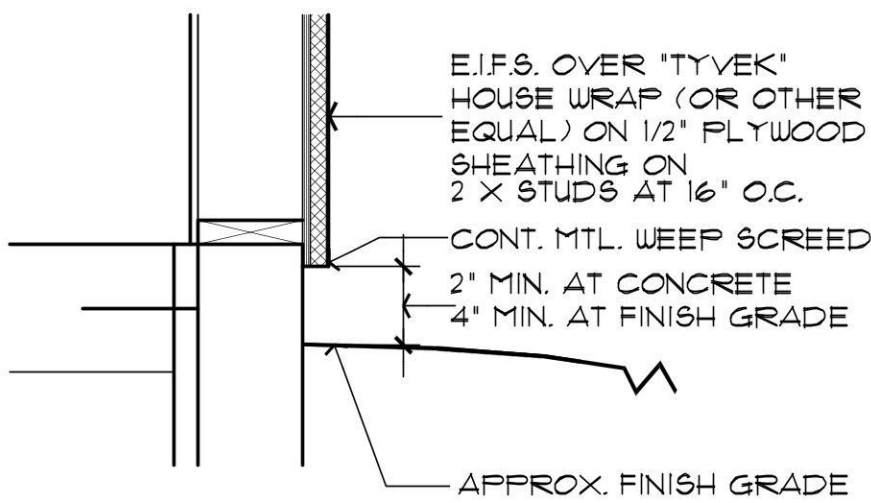
ALTERNATE GARAGE – FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ALTERNATE GARAGE – LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



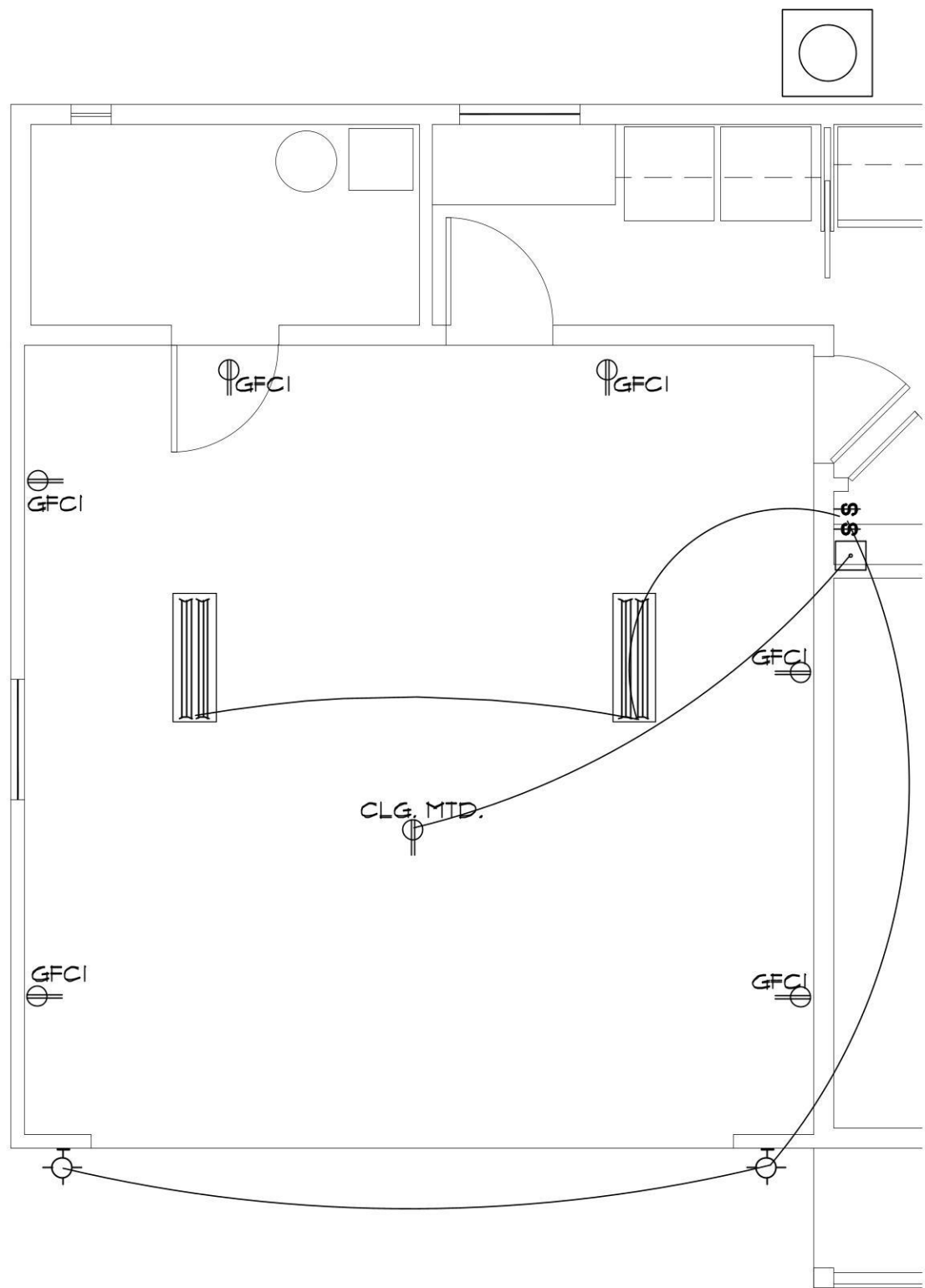
1 STUCCO BASE DETAIL
NO SCALE

NOTE: STUCCO MAY BE USED IN LIEU OF THE HORIZ. SIDING. PROVIDE A WEEP SCREED AT THE BASE OF THE STUCCO AT THE EXTERIOR.

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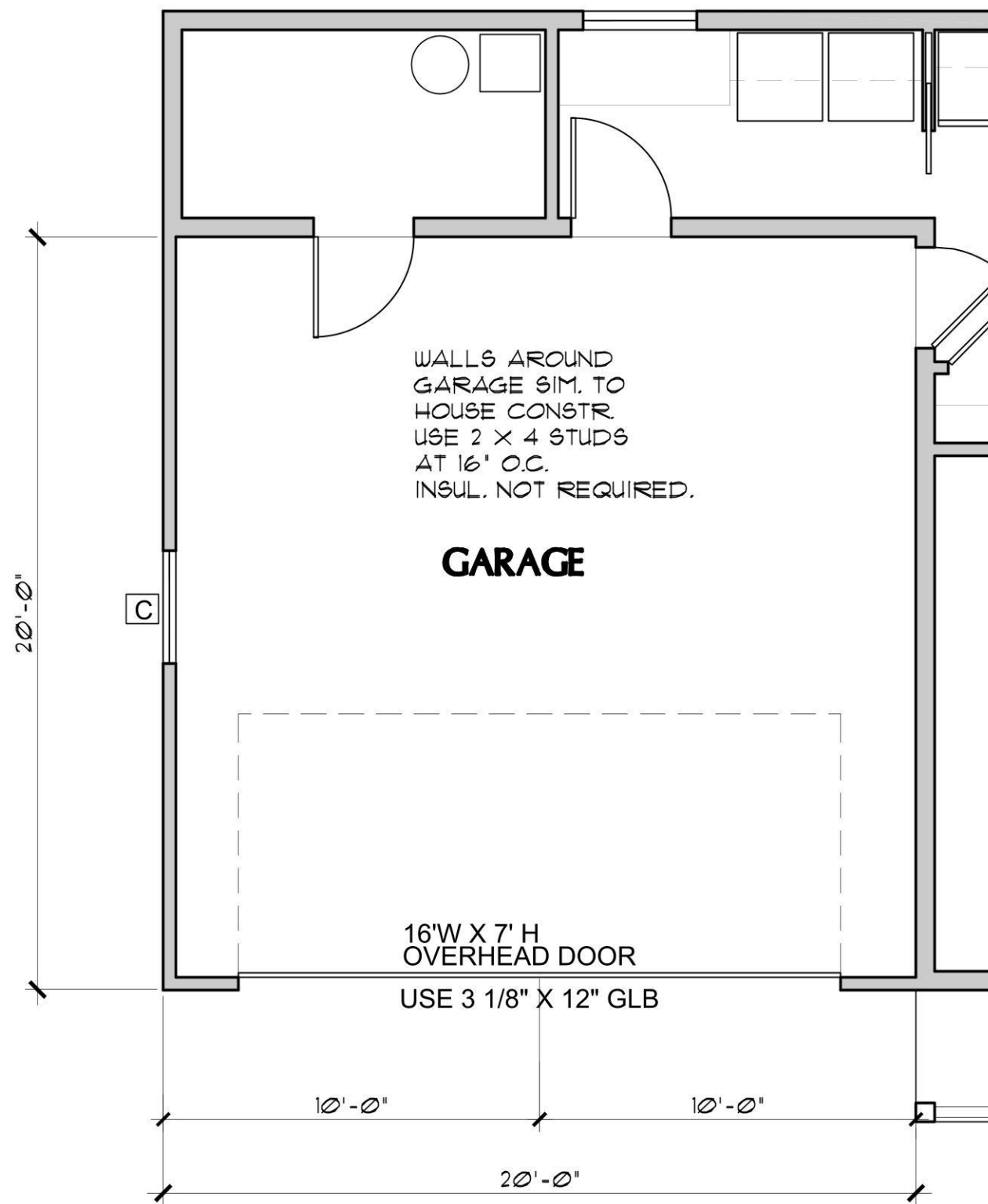
APPROVAL IS SUBJECT TO FIELD INSPECTION AND COMPLIANCE WITH ALL RELEVANT CODES, LAWS AND ORDINANCES

EFFECTIVE APRIL 20, 2006
FULLY SHIELDED FIXTURES ARE
REQUIRED FOR ALL EXTERIOR LAMPS



ALTERNATE GARAGE ELECTRICAL PLAN

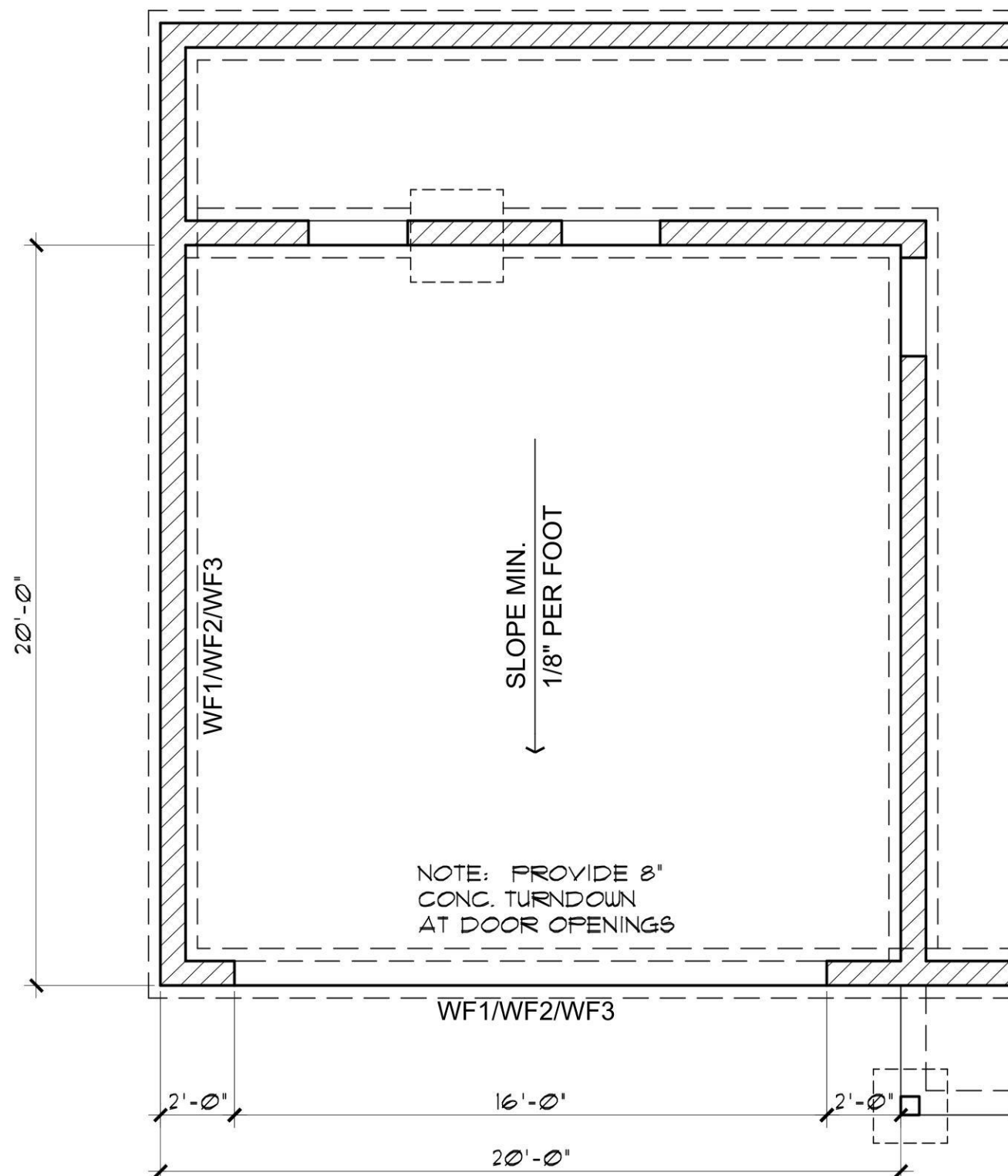
SCALE: 1/4" = 1'-0"



ALTERNATE GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

PER SECTION 110.3.4 OF THE
2018 YCABC ORDINANCE 2014-1:
PRE-SLAB INSPECTIONS
ARE REQUIRED



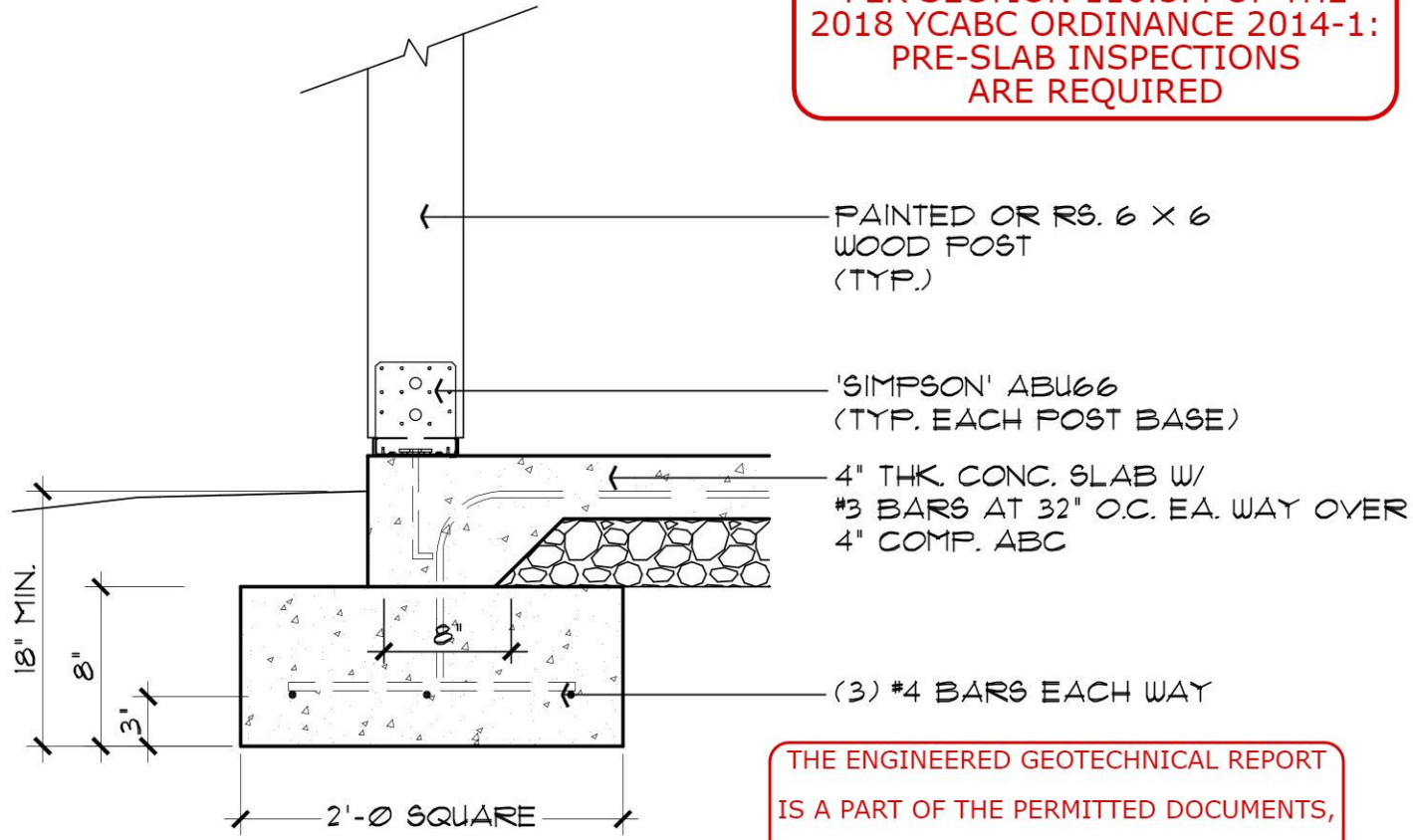
ALTERNATE GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

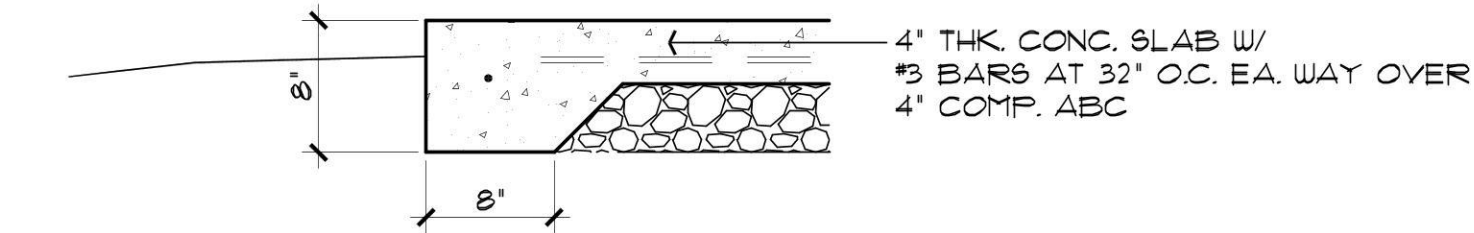
APPROVAL IS SUBJECT TO FIELD
INSPECTION AND COMPLIANCE
WITH ALL RELEVANT CODES,
LAWS AND ORDINANCES

CALL TWO
WORKING DAYS
BEFORE YOU DIG
1-800-STAKE-IT
1-800-782-5348
YAVAPAI COUNTY

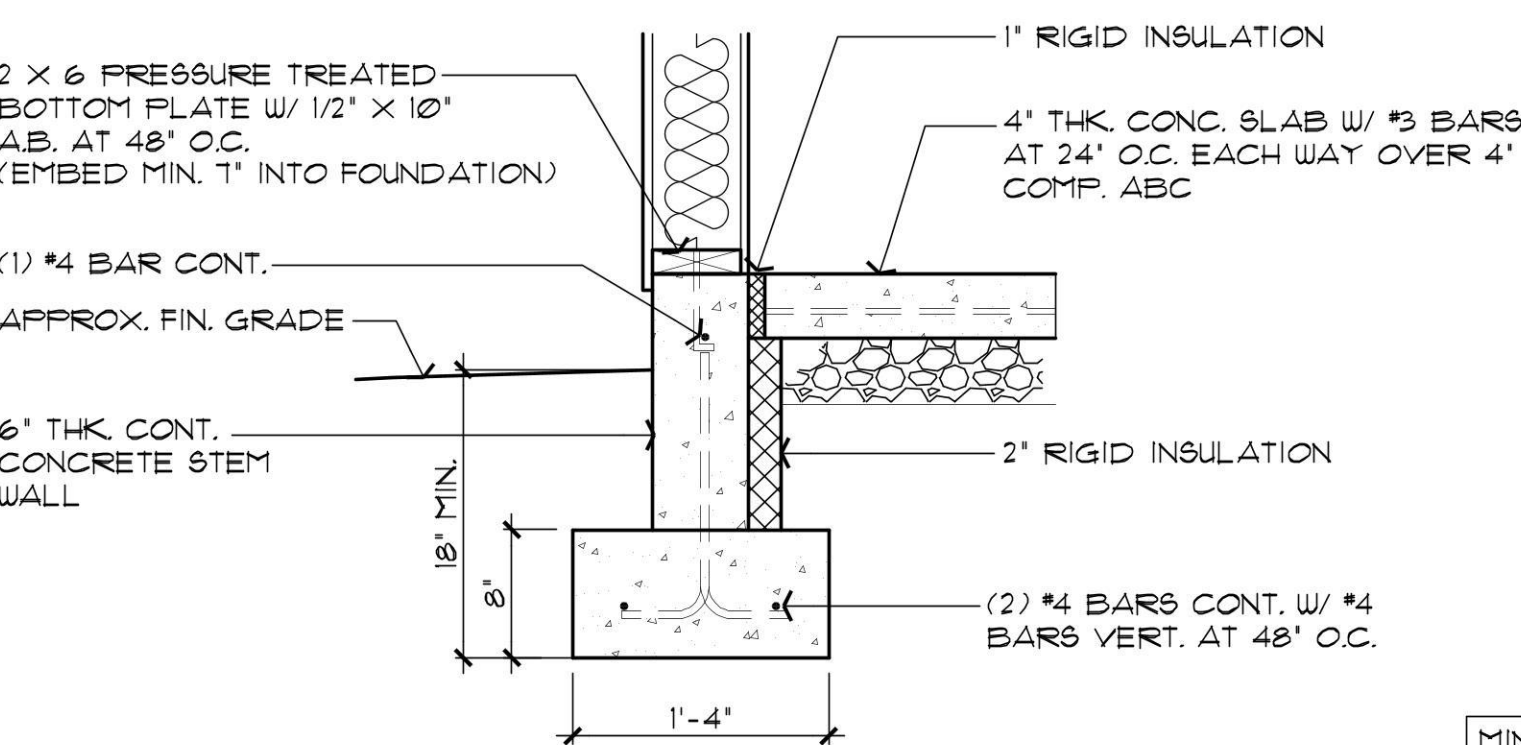
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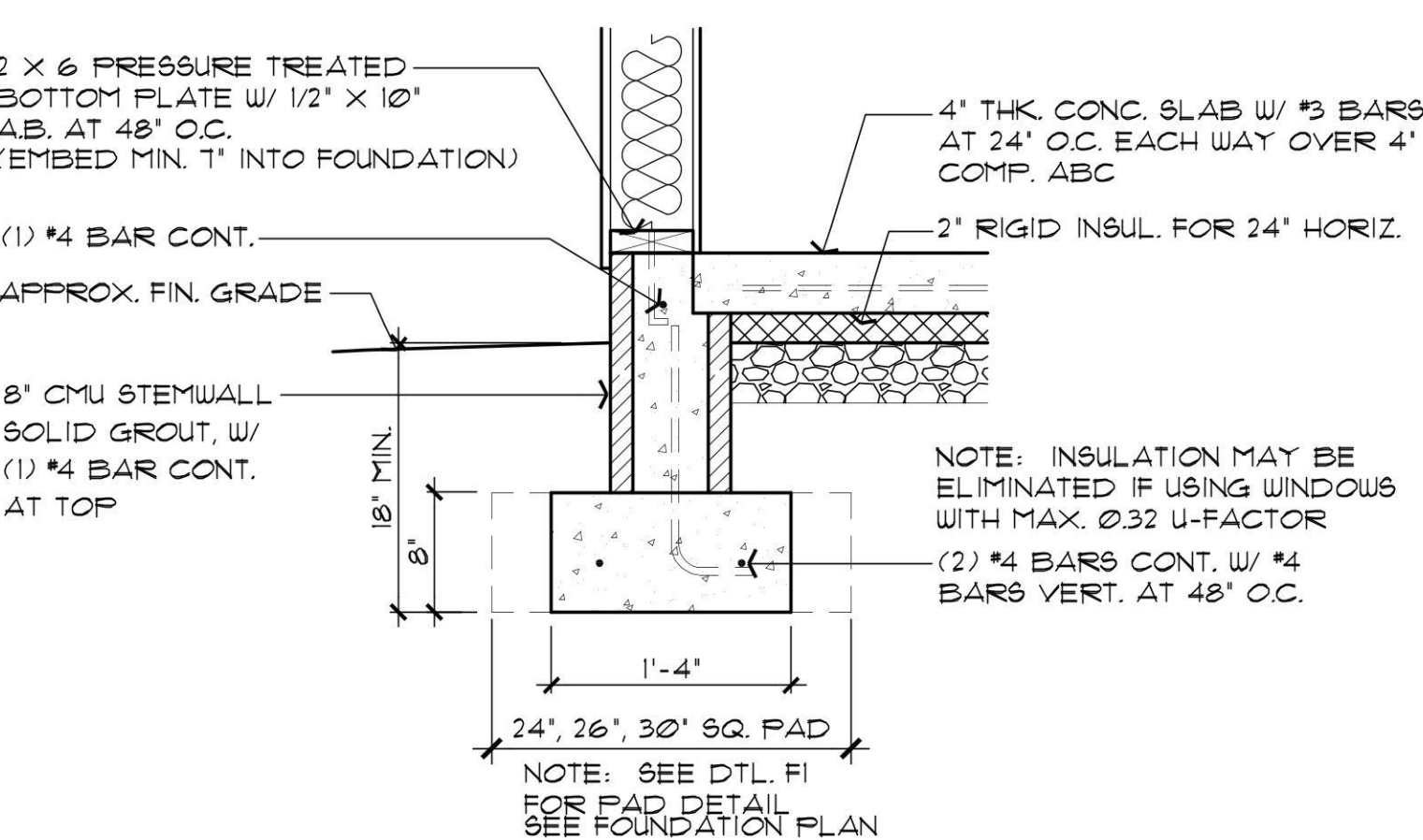
F1 POST BASE FOOTING
SCALE: 1" = 1'-0"



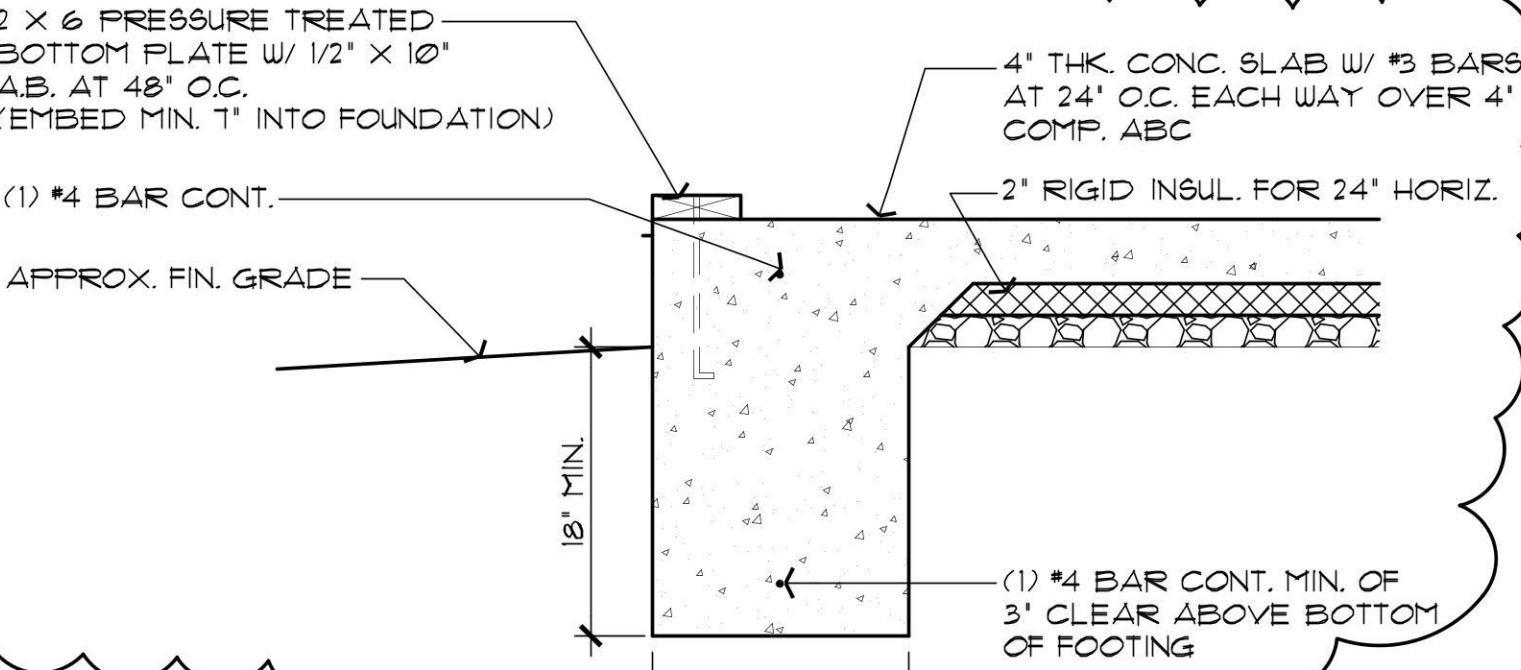
F2 TYPICAL TURN-DOWN FOOTING
SCALE: 1" = 1'-0"



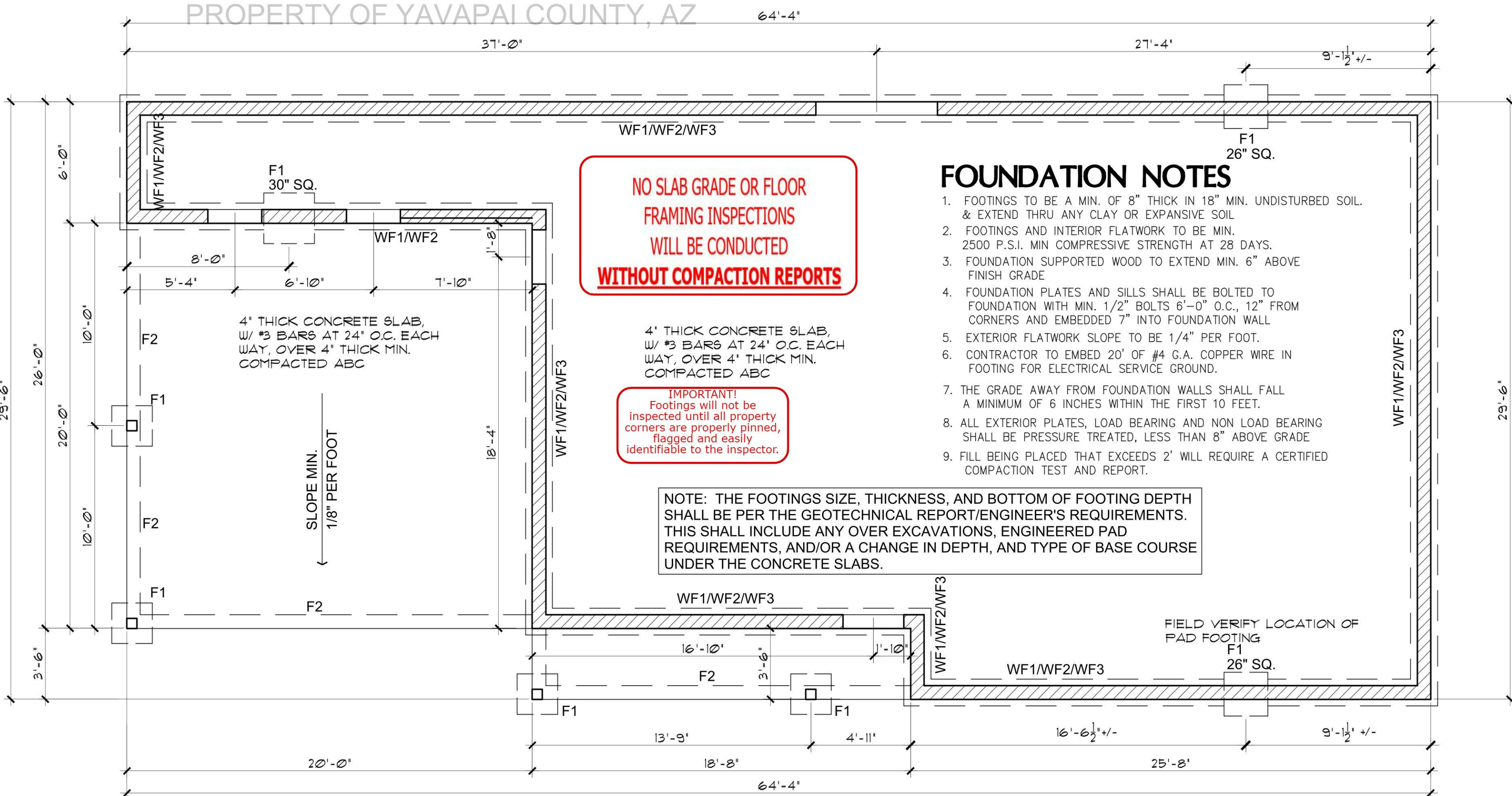
WF1 CONCRETE STEM WALL OPTION
SCALE: 1" = 1'-0"



WF2 CMU STEM WALL OPTION
SCALE: 1" = 1'-0"



WF3 MONOLITHIC FOOTING OPTION
SCALE: 1" = 1'-0"

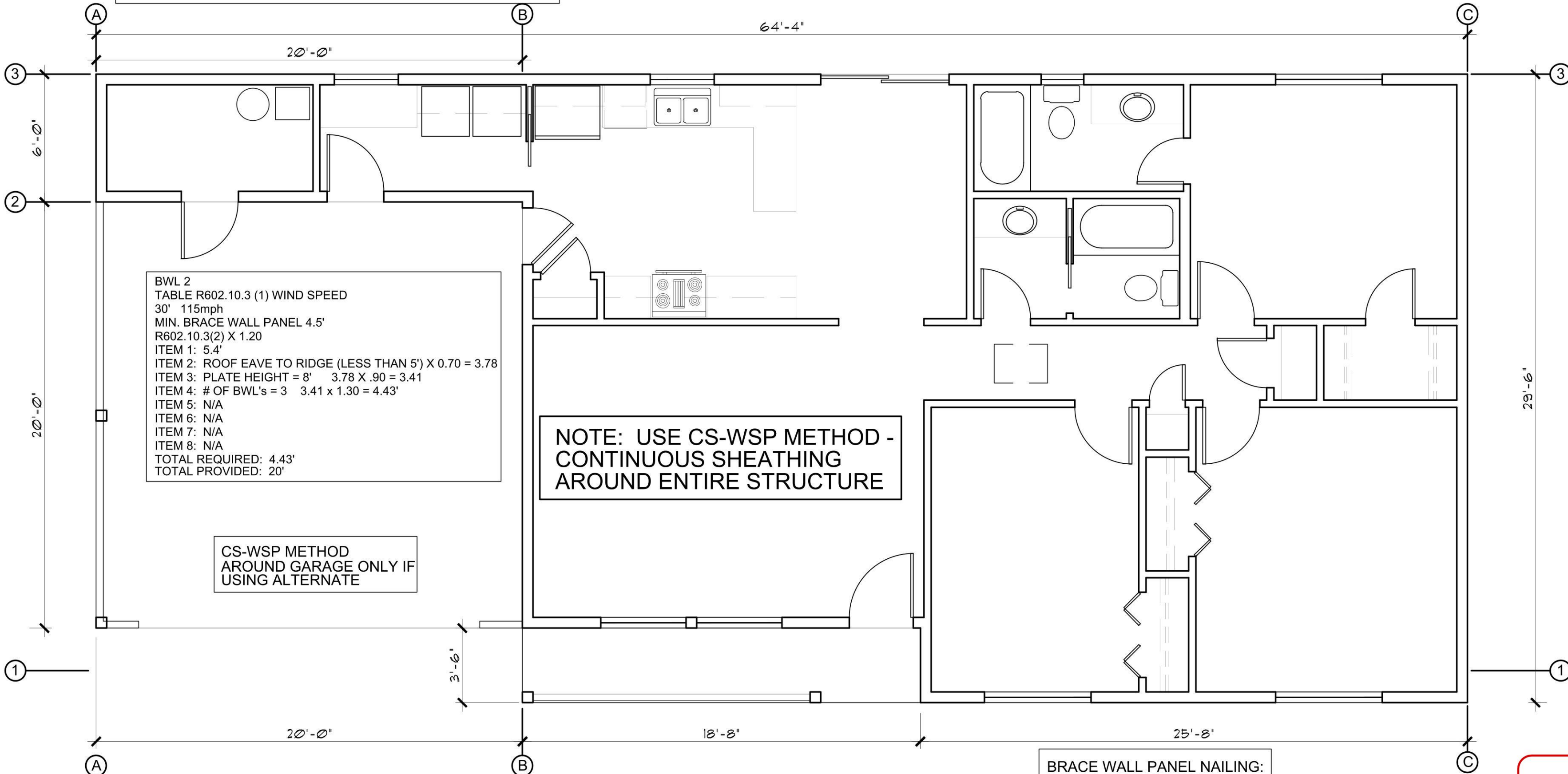


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

BWL A
TABLE R602.10.3 (1) WIND SPEED
30" 115mph
MIN. BRACE WALL PANEL 4.5'
R602.10.3(2) X 1.20
ITEM 1: 5.4'
ITEM 2: ROOF EAVE TO RIDGE (LESS THAN 5') X 0.70 = 3.78
ITEM 3: PLATE HEIGHT = 8' 3.78 X .90 = 3.41
ITEM 4: # OF BWL's = 3 3.41 X 1.30 = 4.43'
ITEM 5: N/A
ITEM 6: N/A
ITEM 7: N/A
ITEM 8: N/A
TOTAL REQUIRED: 4.43'
TOTAL PROVIDED: 6'
TOTAL PROVIDED W/ GARAGE ALTERNATE: 26'

BWL B & C
TABLE R602.10.3 (1) WIND SPEED
30" 115mph
MIN. BRACE WALL PANEL 4.5'
R602.10.3(2) X 1.20
ITEM 1: 5.4'
ITEM 2: ROOF EAVE TO RIDGE (LESS THAN 5') X 0.70 = 3.78
ITEM 3: PLATE HEIGHT = 8' 3.78 X .90 = 3.41
ITEM 4: # OF BWL's = 3 3.41 X 1.30 = 4.43'
ITEM 5: N/A
ITEM 6: N/A
ITEM 7: N/A
ITEM 8: N/A
TOTAL REQUIRED: 4.43'
TOTAL PROVIDED BWL B: 20'
TOTAL PROVIDED BWL C: 29'-6"

BWL 1 & 3
TABLE R602.10.3 (1) WIND SPEED
30" 115mph
MIN. BRACE WALL PANEL 4.5'
R602.10.3(2) X 1.20
ITEM 1: 5.4'
ITEM 2: ROOF EAVE TO RIDGE (LESS THAN 5') X 0.70 = 3.78
ITEM 3: PLATE HEIGHT = 8' 3.78 X .90 = 3.41
ITEM 4: # OF BWL's = 3 3.41 X 1.30 = 4.43'
ITEM 5: N/A
ITEM 6: N/A
ITEM 7: N/A
ITEM 8: N/A
TOTAL REQUIRED: 4.43'
TOTAL PROVIDED 64'-4"
TOTAL PROVIDED W/ CARPORT: 44'-4"



BRACE WALL PLAN
SCALE: 1/4" = 1'-0"

BRACE WALL PANEL NAILING:
USE 6d COMMON NAILS
2" X 0.113", 1.5" PENETRATION
6" AT EDGES, 12" FIELD

REVIEWED FOR
DESIGN CRITERIA
ONLY

Job no. : 3BDRM/2BATH
Date : 12/09/2020
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions: 02/03/2022
FOOTING
REVISION

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FOUNDATION PLAN / ROOF FRAMING
PLAN / DETAILS
3 BEDROOM / 2 BATH

YAVAPAI COUNTY, ARIZONA

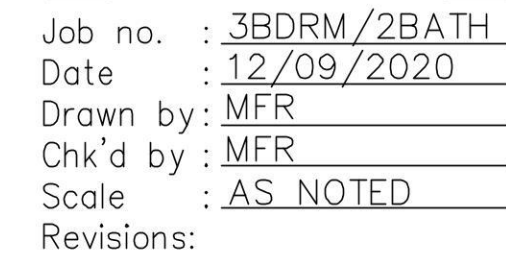
1015 FAIR STREET
PRESCOTT, ARIZONA

SHEET NO:

A-2.0

PROPERTY OF YAVAPAI COUNTY, AZ

- PROPERTY OF YAVAPAI COUNTY, AZ



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PROPERTY OF YAVAPAI COUNTY, AZ

Yavapai County Snow Load by Elevation

ELEVATION	SNOW LOAD	FOOTING DEPTH	ROOF SHEATHING
5000 ft. and Below	20 PSF	12" below 4500 ft. 18" above 4500 ft.	½"
5001 ft. to 5900 ft.	30 PSF*	18"	½"
5901 ft To 6200 ft.	40 PSF*	18"	½" or 5/8" With tile over 60#TL
6201 ft. to 6500 ft.	45 PSF*	18"	5/8"
Over 6501 ft.	50 PSF*	24"	5/8"

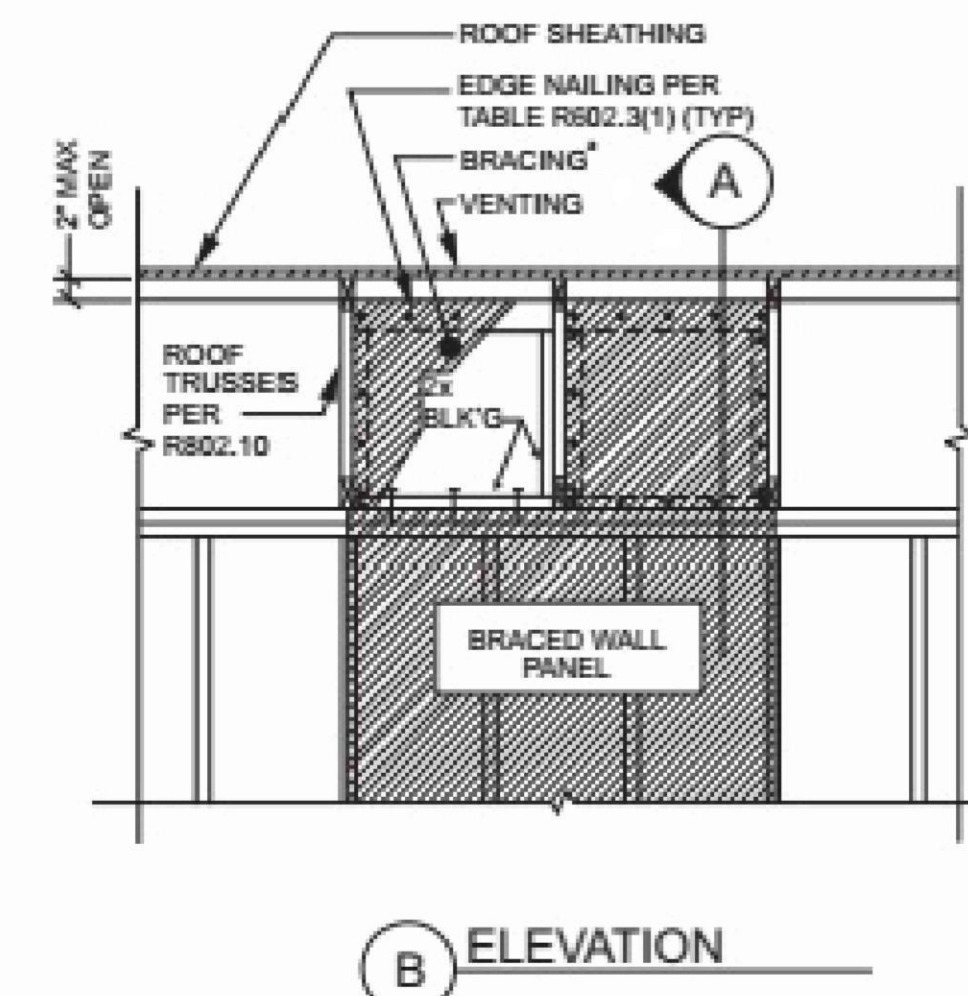
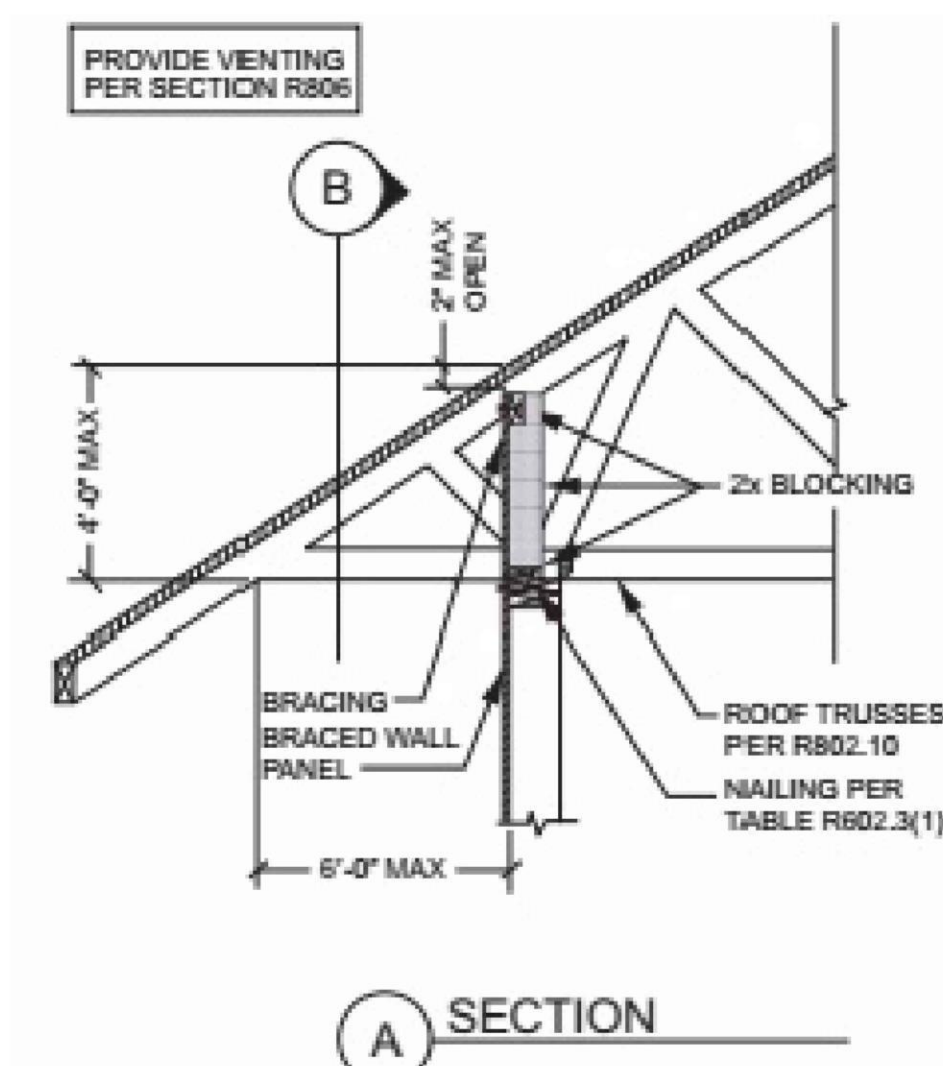
TRUSS CALCULATIONS
TO BE ON SITE AT TIME
OF INSPECTION

APPROVAL IS SUBJECT TO FIELD
INSPECTION AND COMPLIANCE
WITH ALL RELEVANT CODES,
LAWS AND ORDINANCES

NOTE: PROVIDE PANEL EDGE SUPPORT FOR
NARROW-WIDTH ROOF SHEATHING PER
APA TECHNICAL REPORT #R275A.

NOTE: PROVIDE
DOUBLE STUDS UNDER
TWO-PLY GIRDER
TRUSSES

NOTE: TRUSS-TO-GIRDER
CONNECTIONS TO BE
SIMPSON HTU26 OR OTHER
EQUAL



3 PLAN VIEW - MITERED BEAM AT CORNER POSTS CONNECTION
SCALE: 1 1/2" = 1'-0"

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DESIGN CRITERIA
ONLY

SHEET NO:

A-3.0

2018 IRC FIGURE R602.10.8.2(3)

PROPERTY OF YAVAPAI COUNTY, AZ

ROOF FRAMING PLAN /
ROOF DETAILS
3 BEDROOM / 2 BATH

YAVAPAI COUNTY, ARIZONA

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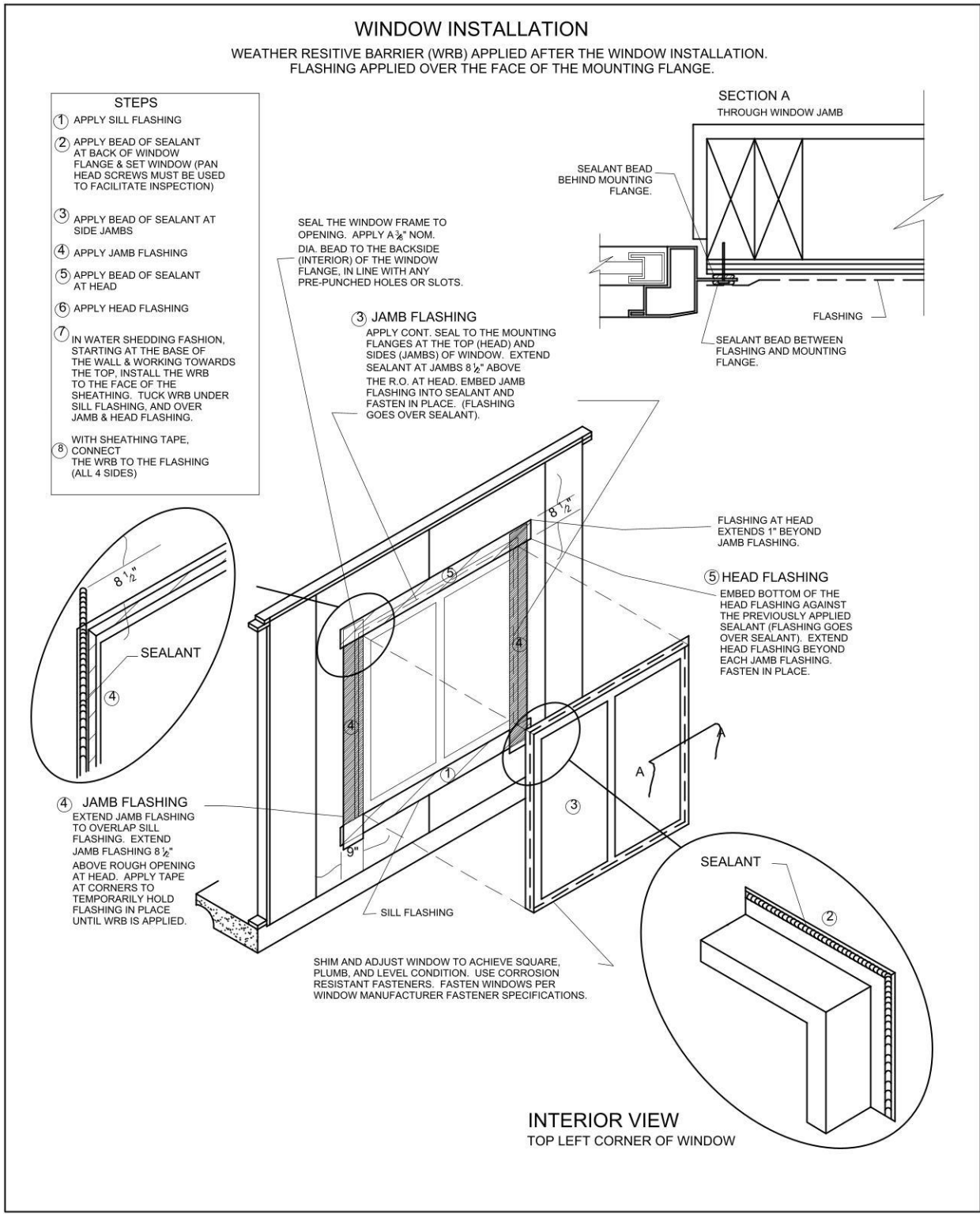
SHEET NO:

A-4.0

RAIN GUTTERS / DRAINAGE

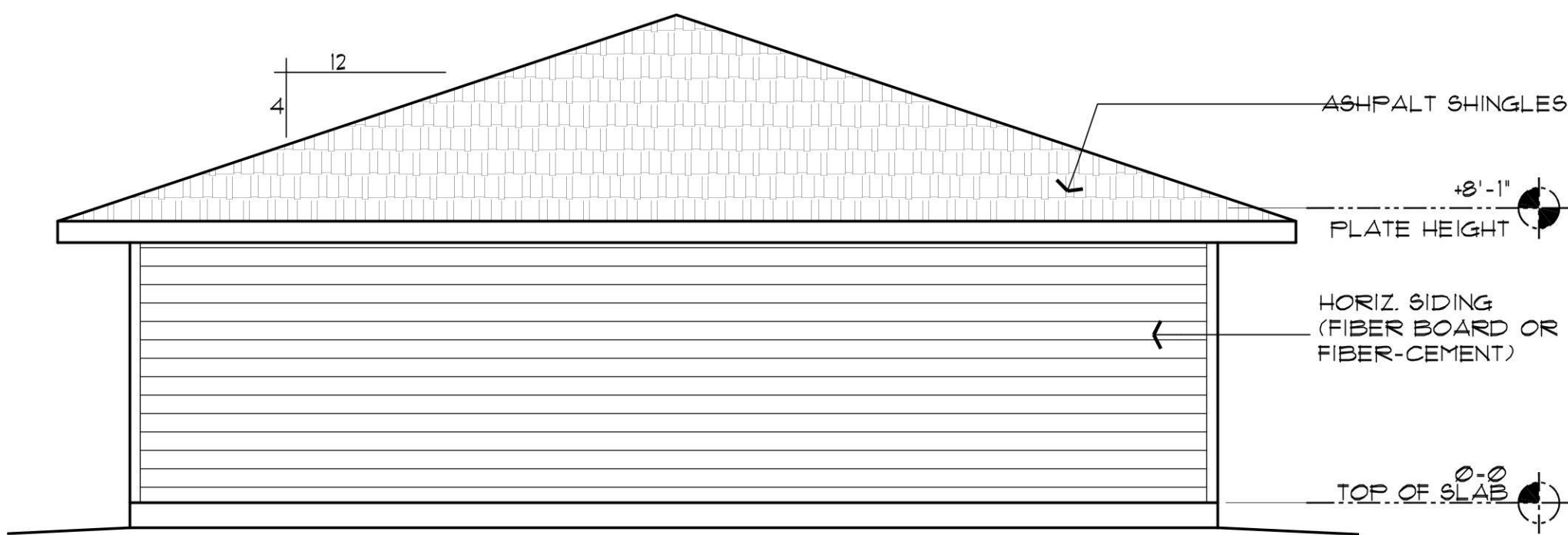
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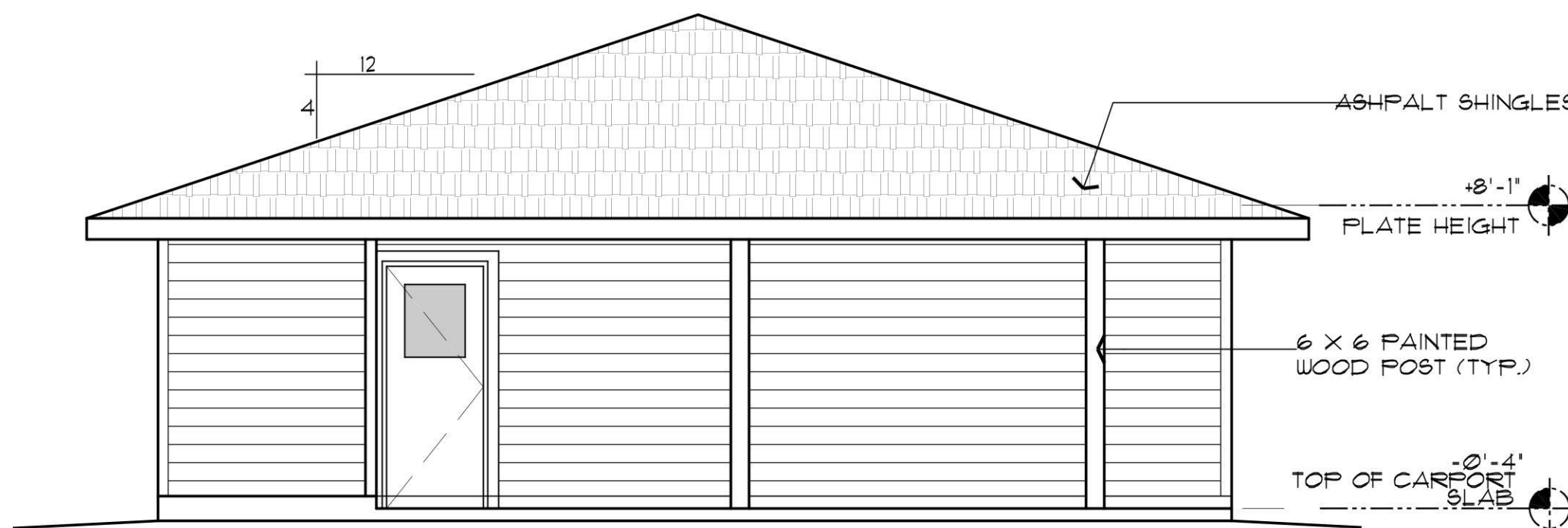
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



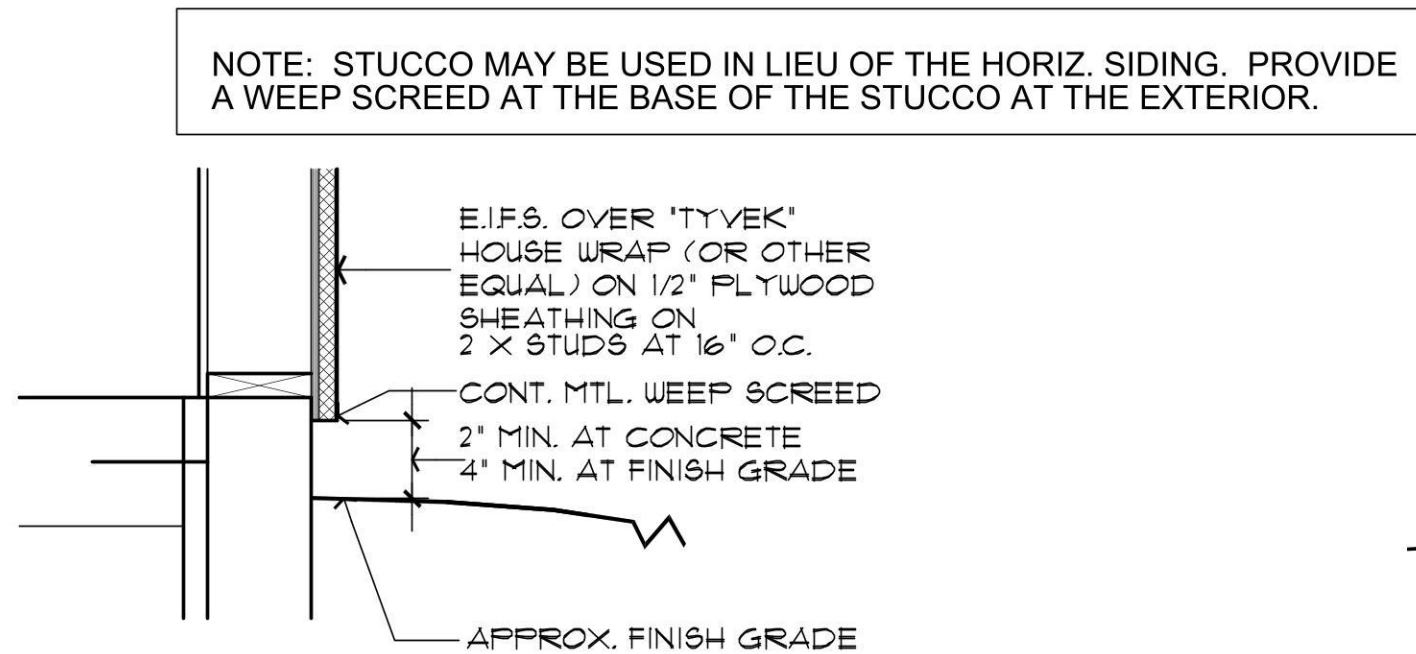
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



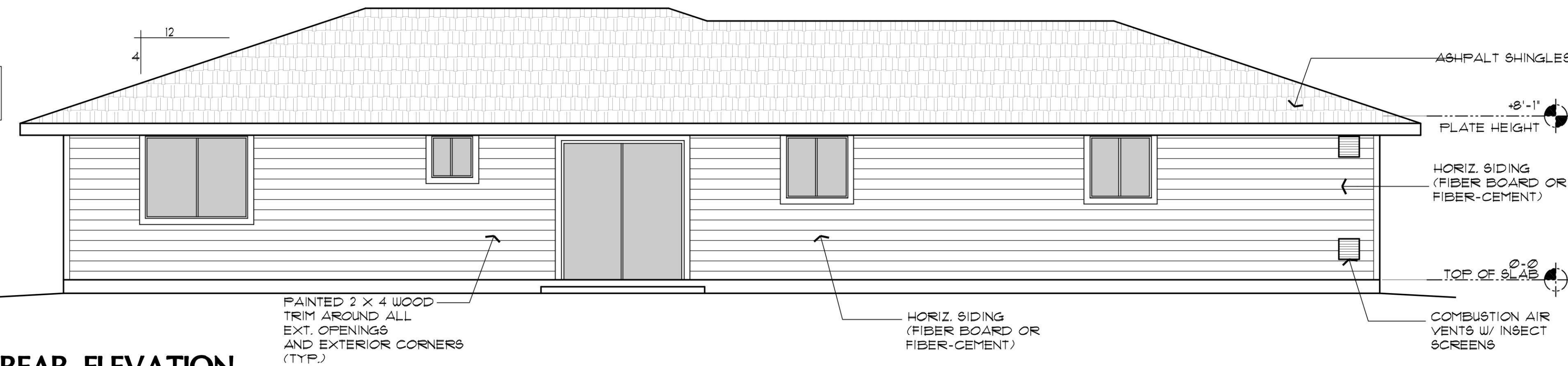
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



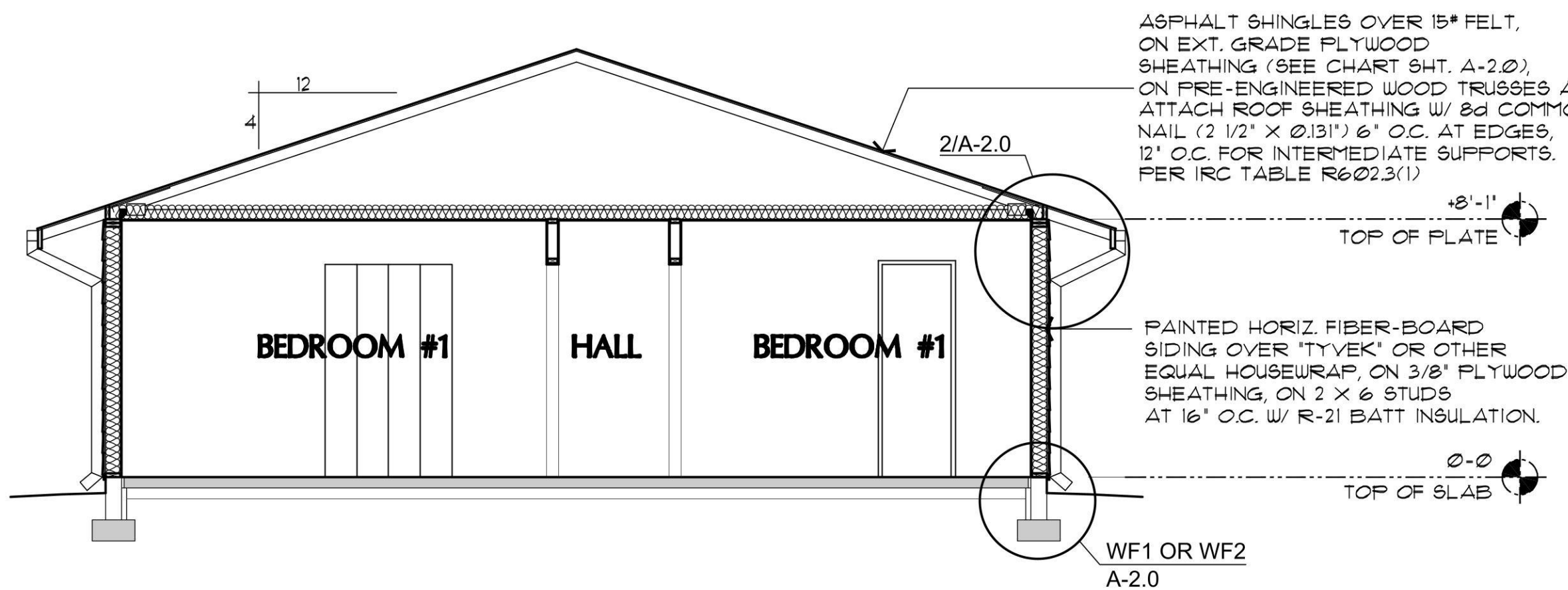
1 STUCCO BASE DETAIL

NO SCALE



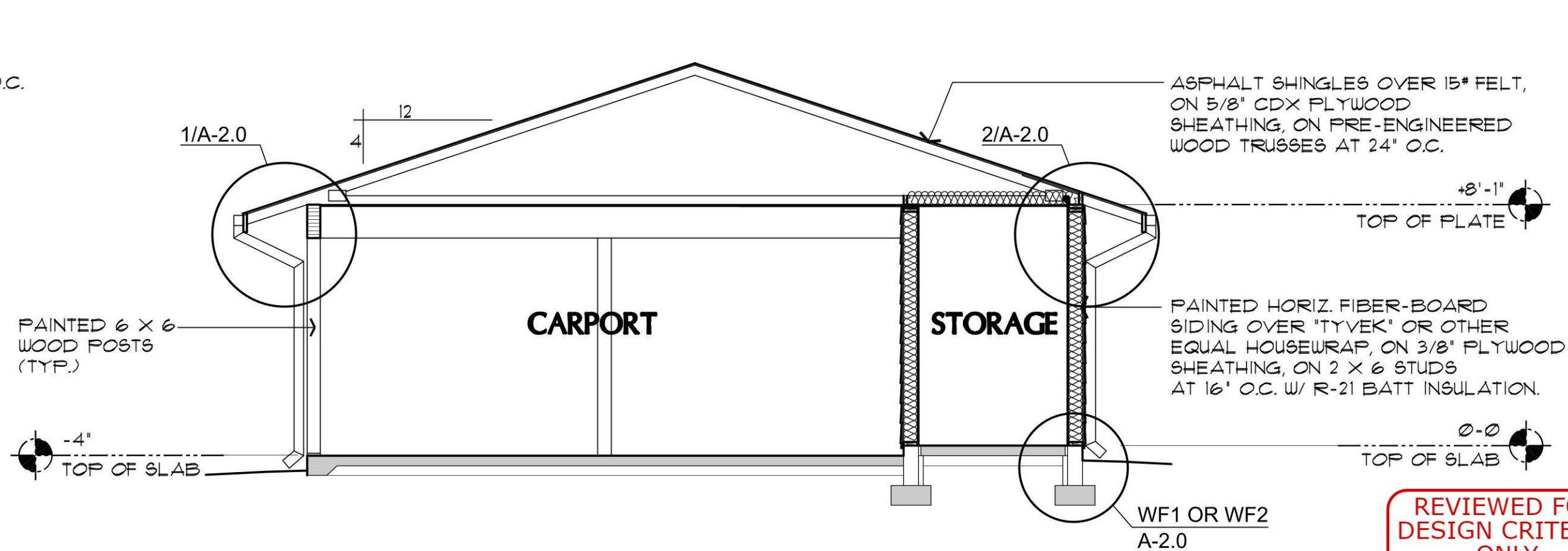
REAR ELEVATION

SCALE: 1/4" = 1'-0"



A BUILDING CROSS SECTION

SCALE: 1/4" = 1'-0"



B BUILDING CROSS SECTION

SCALE: 1/4" = 1'-0"

REVIEWED FOR DESIGN CRITERIA ONLY

